

To: Katy Park - Case Officer
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**Monks Orchard Residents'
Association
Planning**

31st October 2025

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Reference:	25/03022/FUL
Application Received:	18 Sept 2025
Application Validated:	18 Sept 2025
Address:	71 Tower View Croydon CR0 7PZ
Proposal:	Subdivision of existing dwellinghouse to form two dwellings with addition of flat-roofed rear ground floor extension and pitched roof to existing two-storey side extension (following demolition of existing side extension). 71 Tower View Croydon CR0 7PZ
Status:	Awaiting decision
Case Officer	Katy Park
Consultation deadline:	Sat 01 Nov 2025

Dear Katy Park– Case Officer

MORA have been requested by residents of Tower View, to make representations on this planning application which has a very short consultation duration.



Street Scene Tower View including 71 (with extension)

**Representing, supporting, and working with the Local Residents'
for a better community.**



Ground and first Floor proposed plan.

The proposal is to subdivide the dwelling house to form two dwellings on virtually the same footprint of the existing extension.

However, the aspect from the street scene would give the impression of a Terrace of three dwellings rather than a row of semi-detached dwellings.

This was mentioned in the **Inspector's** reasoning for dismissal of the Appeal Ref: APP/L5240/W/25/3358689, 71 Tower View, Croydon, CR0 7PZ, **Decision date: 19 June 2025.**

“Appeal Ref: APP/L5240/W/25/3358689

71 Tower View, Croydon, CR0 7PZ

The appeal is made under section 78 of the Town and Country Planning Act 1990 (as amended) against a refusal to grant planning permission.

The appeal is made by Ms Sharon Ringer against the decision of the Council of the London Borough of Croydon.

The application **Ref is 24/03443/FUL.**

The development proposed is the **subdivision of existing dwellinghouse to form two dwellings with addition of flat-roofed rear ground floor extension** and pitched roof to existing two-storey side extension.”

Decision

The appeal **is dismissed.**”

The Inspector's Report - Main Issues were as follows:

3. The main issues are:

- the effect of the proposal on the **character and appearance** of the area.
- the effect of the proposal on highway safety with particular regard to the provision of off-street, car parking; and “

Reasons

24. *Benefits include the creation of one additional dwelling contributing to the supply, mix and range of housing optimising the use of a previously developed site. Economic benefits, although not quantified, would arise from the construction and occupation of the development. However, due to the small scale of the development, the weight to be given to these benefits is limited. “*

We therefore do not see any reason to dispute the Inspector's Reasons for Dismissal of the Appeal which is very relevant to the revised new proposal Application Ref: 25/03022/FUL for ... **“Subdivision of existing dwellinghouse to form two dwellings with addition of flat-roofed rear ground floor extension and pitched roof to existing two-storey side extension (following demolition of existing side extension). ...”**

Accommodation for 2 Bedroom 3 Persons & 3 Bedroom 5 Persons

London Plan Policy D6 Table 3.1 & Table A1.1 (Best Practice) minimum Space Standards

New 2b3p two Storeyed Dwelling requires 70 sq.m. or Best Practice 76 sq.m. GIA (Gross Internal Area) including including 2 sq.m Built-In Storage Space or 2.5 sq.m. Best Practice Built -In Storage Space.

The Existing 3b5p Two Storeyed Dwelling requires 93 sq.m. or Best Practice 104 sq.m. GIA (Gross Internal Area) including 2.5 sq.m Built-In Storage Space or 3 sq.m. Best Practice Built -In Storage Space.

Requiring a total of $70 + 93 = 163$ sq.m. or 180m sq.m. best practice GIA

The proposal Application Form indicates available 165 sq.m. GIA. **But not how it is distributed over the two dwellings.**

However, there is no provision for **required Built-In Storage Space.**

The Architect's Environment Planning Statement States:

“2.0 Proposed amendments to proposal

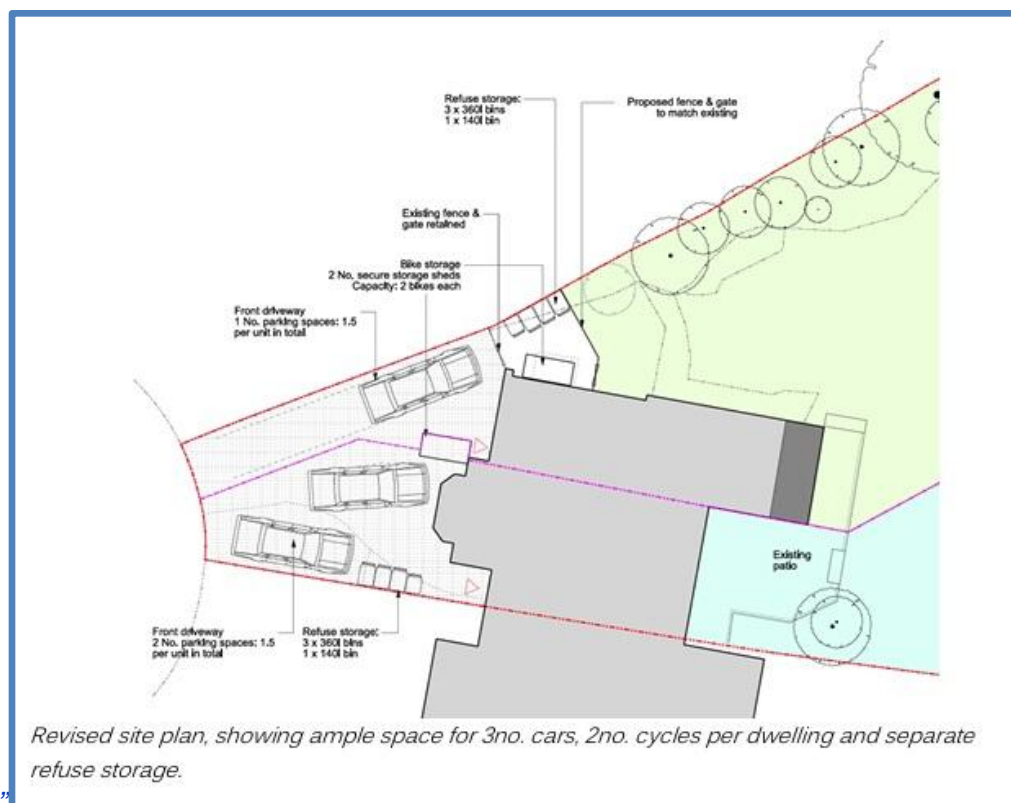
2.1 The original submission showed the front garden area as a single, shared, surface, but the planning appeal suggested under point 13 that this was unlikely to be a workable solution and would be likely to lead to disputes.

2.2 The revised proposal amends this, giving each dwelling a separate front garden, with ample space around cars the access the street while wheeling bins, bicycles etc.

2.3 The larger of the two dwellings has space for two cars, with the arrangement of needing to move one car to allow the second to leave being completely conventional and commonplace. The important aspect of this revision is that it removes the potential for conflict between the two dwellinghouses by safeguarding their access routes and parking areas.

2.4 The appeal discusses the potential for on-street parking, but it is apparent through the revised design that it should not be necessary.

2.5 Cycle and refuse storage are also shown as separated, further reducing the risk of conflict between neighbours and allowing individual households to arrange their hardstanding areas as desired, particularly in the event that fewer cycles, cars, or bins are required.



Likely Parking clutter resulting from increased dwelling accommodation occupancy.

We believe that the provision of an additional dwelling constrained by the locality of the end of a Cul-De-Sac would result in additional Parking Requirements which would be visually detrimental to the character of the locality.

Please register this comment as **Monks Orchard Residents' Association (Objects)** on the Public Access Register.

Kind Regards

Derek



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